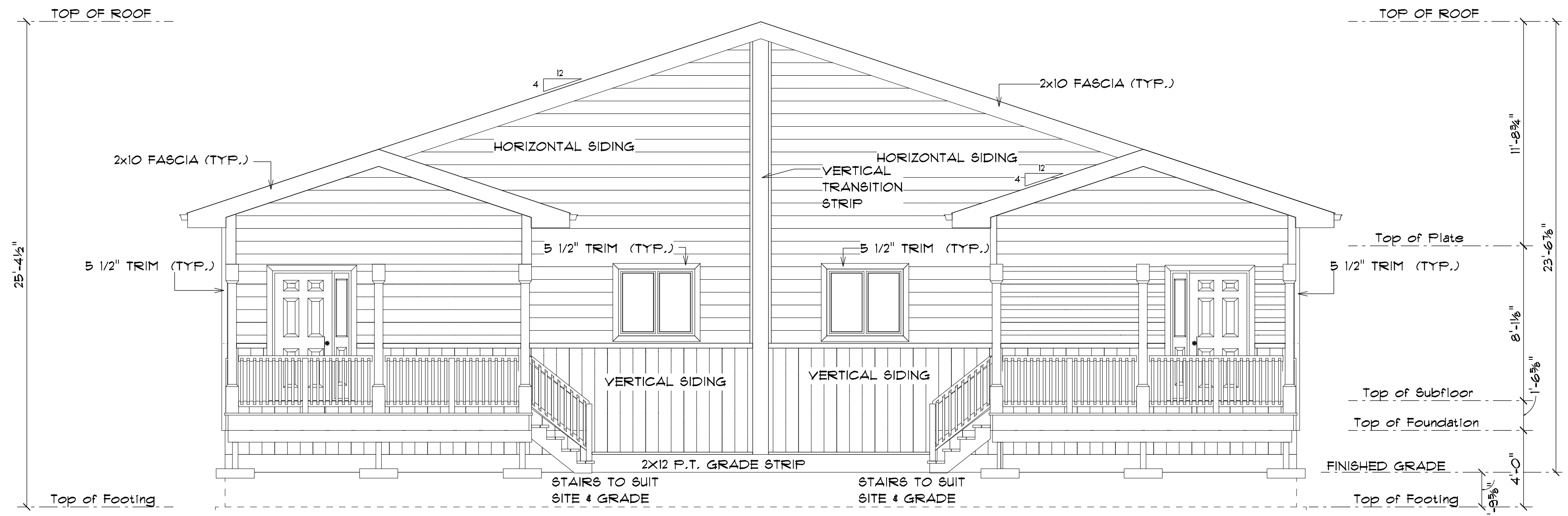
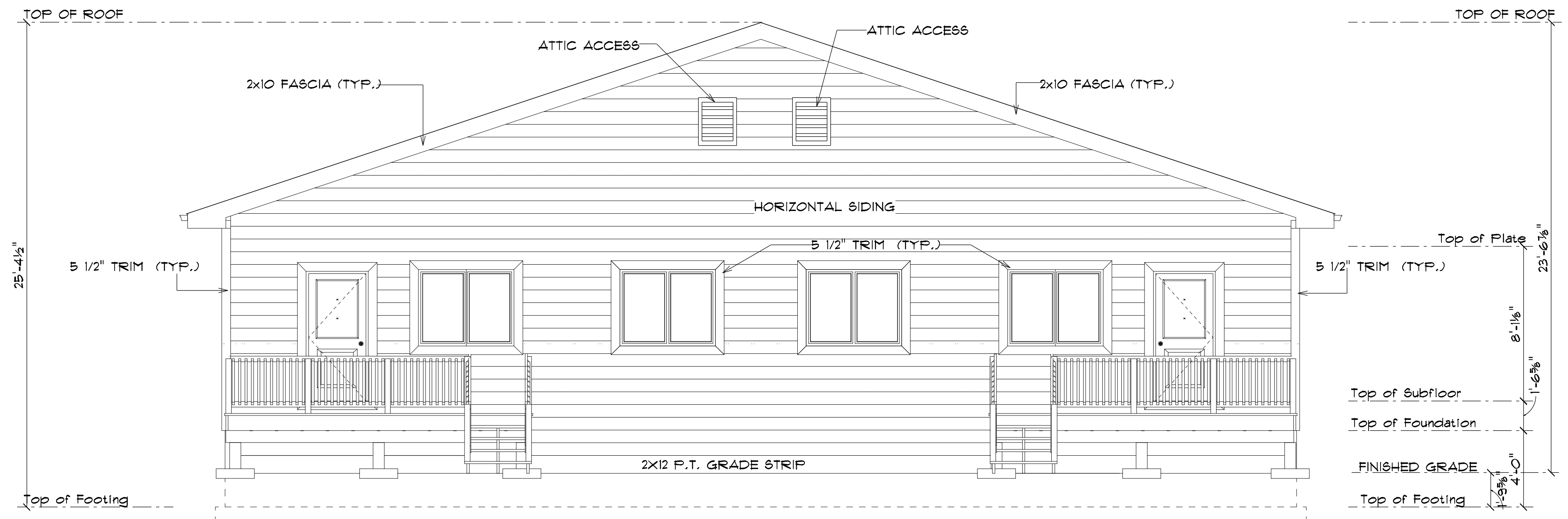




FRONT ELEVATION
SCALE: 1/4" = 1'-0"

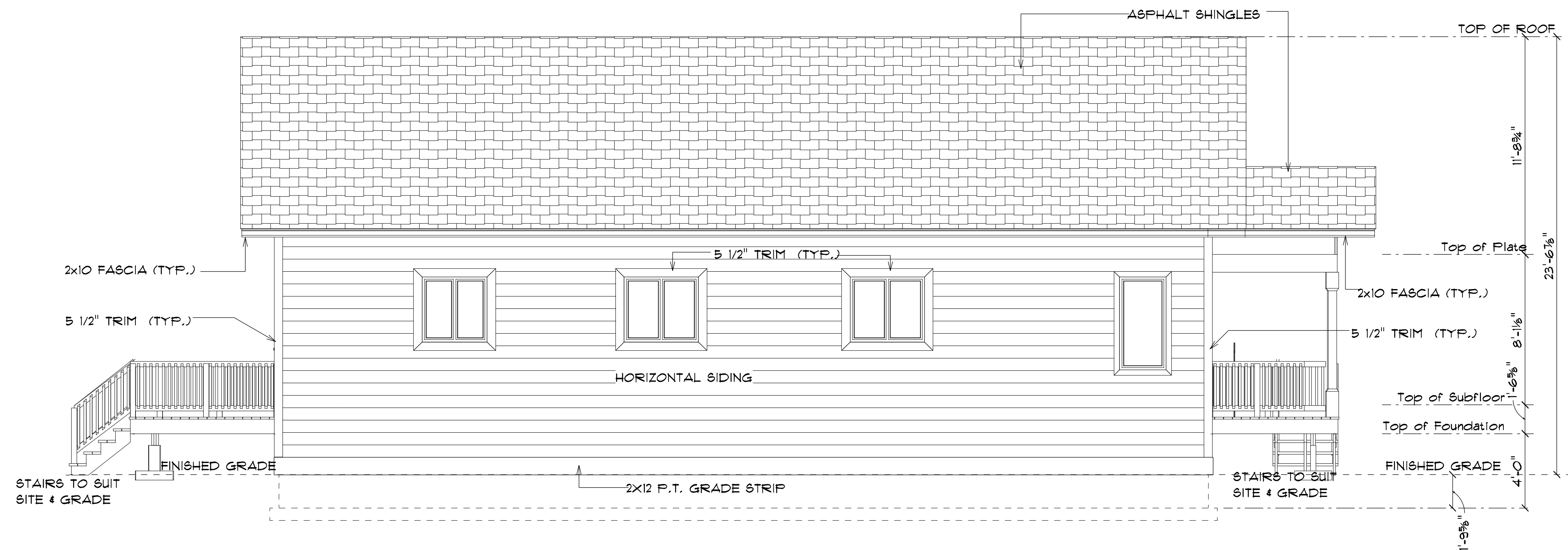


REAR ELEVATION
SCALE: 1/4" = 1'-0"

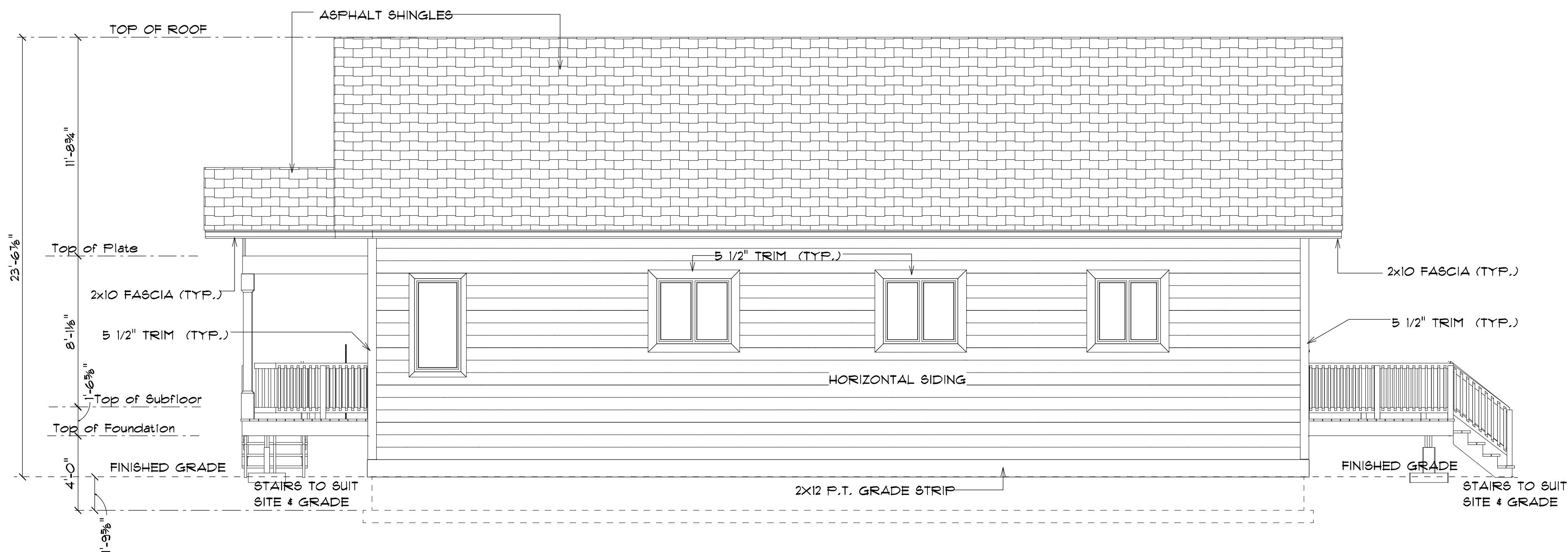
DRAWING SCHEDULE	
FRONT & REAR ELEVATIONS	1
LEFT & RIGHT ELEVATIONS	2
FOUNDATION PLAN	3
MAIN FLOOR	4
SECTION A-A	5
SITE PLAN	6

HABITAT FOR HUMANITY





LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

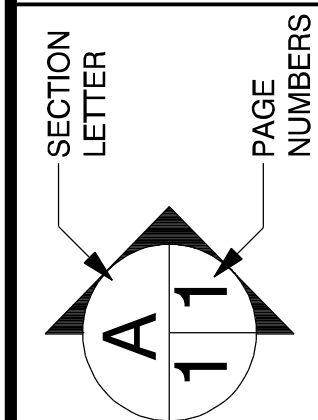
DUPLEX

LEFT & RIGHT ELEVATIONS



HABITAT FOR HUMANITY

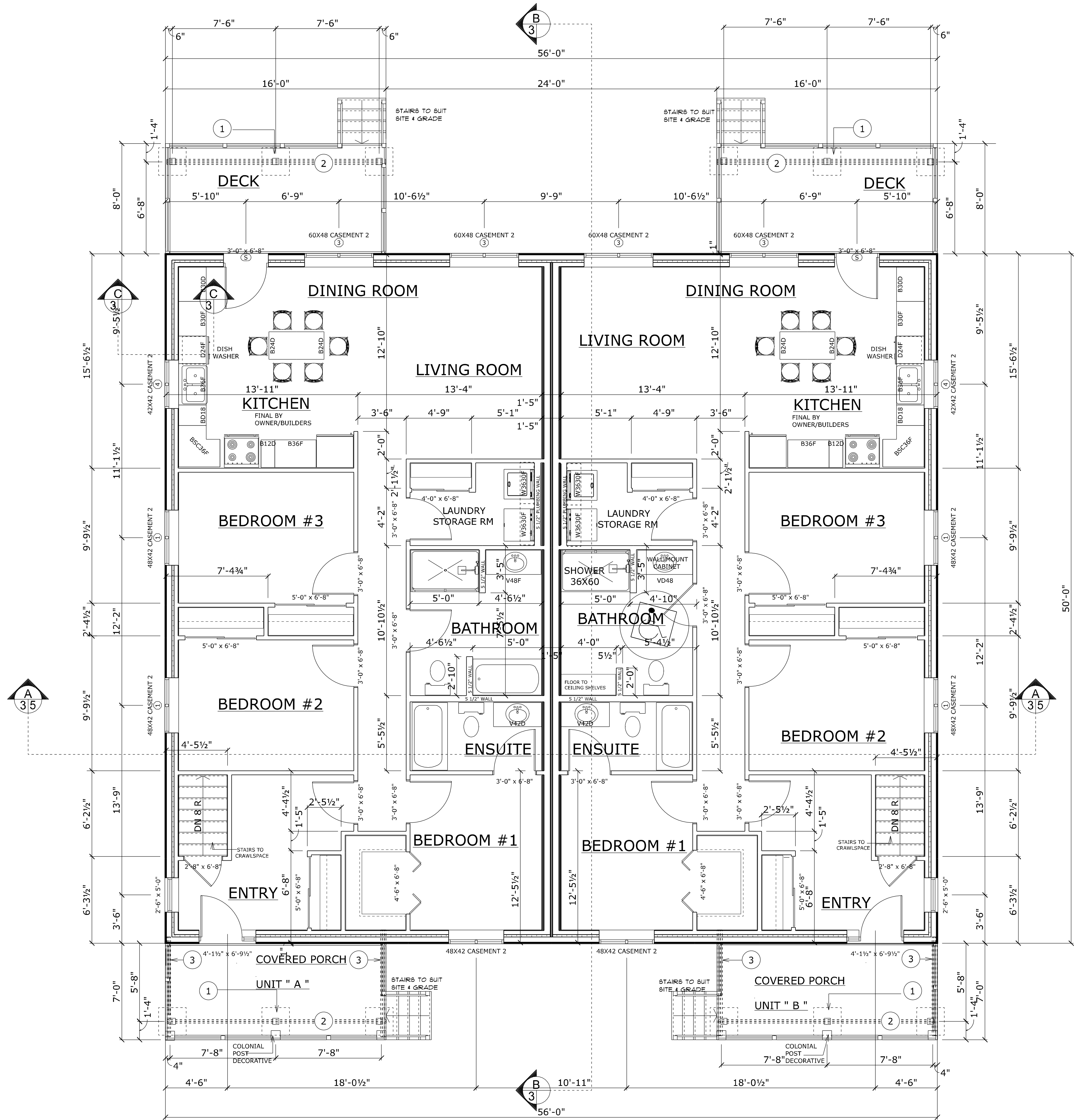
SCALE: 1/4" = 1'-0"
DRAWN BY: BWO
DATE: October 1, 2021



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4-MAIN FLOOR OPTION #1
SCALE: 1/4" = 1'-0"



NOTE:
UNIT "B" ALTERNATE
BARRIER FREE BATHROOM
DESIGN

KEYNOTE SCHEDULE	
ID	NOTE
1	6X6 PRESSURE TREATED POST ON 24" X 24" X 10' CONCRETE PADS (TYP.)
2	3 - 2X8 PRESSURE TREATED DECK BEAM
3	3-2X12 BUILT-UP BEAM

DUPLEX

MAIN FLOOR



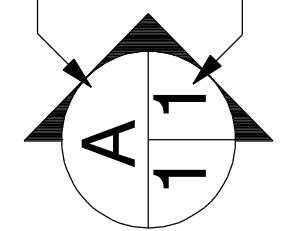
HABITAT FOR HUMANITY

SCALE: 1/4" = 1'-0"

DRAWN BY: BWO

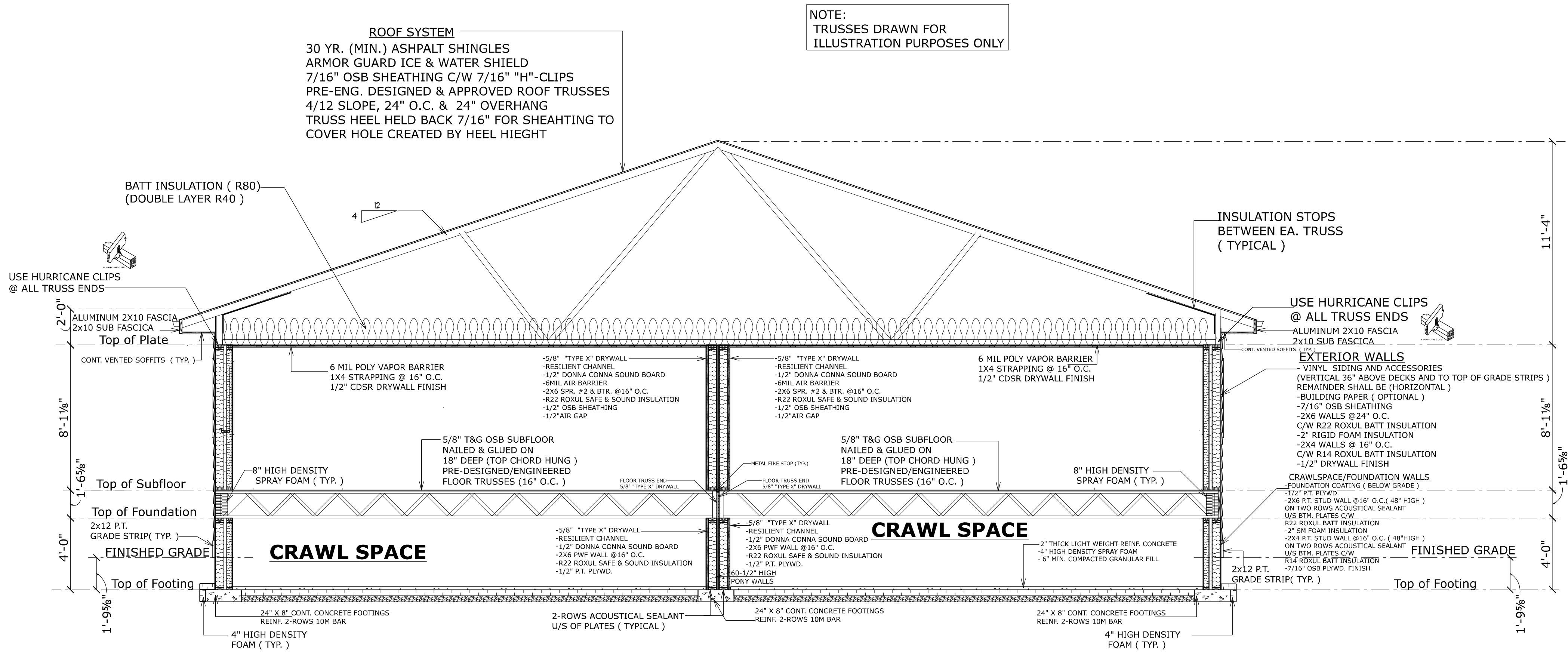
DATE: October 1, 2021

SECTION
LETTER



PAGE
NUMBERS

4/6



GENERAL NOTES

ALL LABOUR, MATERIALS, STRUCTURAL DESIGN, AND BUILDING PROCEDURES SHALL CONFORM TO THE NATIONAL BUILDING CODES OF CANADA AND ALL ITS AMENDMENTS IN ADDITION TO ALL LOCAL BYLAWS, AND CODES IN EFFECT AT THE TIME OF CONSTRUCTION.

ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS TO BE DESIGNED BY OTHERS. THESE SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL AND LOCAL BUILDING CODES IN EFFECT AT THE TIME OF CONSTRUCTION.

PROJECT CONTRACTOR/BUILDER IS TO VERIFY ALL DIMENSIONS AND DATA NOTED HEREIN AND IS HELD RESPONSIBLE TO REPORT ANY ERRORS OR OMISSIONS IN WRITING TO THE OWNER AND DESIGNER FOR ADJUSTMENT PRIOR TO STARTING OF CONSTRUCTION.

ALL EXTERIOR WALL DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF STUD UNLESS NOTED.

ALL INTERIOR WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED.

ALL EXISTING FAN, DRYER, AND RANGE HOOD VENTING DUCTS SHALL VENT DOWN AND OUT BY WAY OF THE FLOOR JOIST CAVITY WHEN POSSIBLE. PROPER FLASHINGS, SEALING AND INSULATION METHODS FOR VENTS, PLUMBING STACKS & CHIMNEY FLUES SHALL BE USED WHEN PENETRATING THE VAPOR BARRIER.

ALL WINDOWS SHALL CONFORM TO SECTION 9.7. WINDOWS 5 OF THE N.B.C. ALL BEDROOM WINDOWS SHALL PROVIDE UNOBSTRUCTED OPENINGS WITH AREAS NOT LESS THAN 0.31m² (3.77sq.ft.). WITH NO DIMENSION LESS THAN 200 mm. (15").

CONDITIONS OF THE DESIGNER
ALBERTA YUKON DESIGNS HAS NOT BEEN RETAINED FOR STRUCTURAL OR ARCHITECTURAL INSPECTION OR SUPERVISION SERVICES.

THE PURCHASER AND OR BUILDER OF THIS PLAN RELEASES ALBERTA YUKON DESIGNS & ANY EMPLOYEES FROM ANY CLAIMS OR LAWSUITS THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANYTIME THEREAFTER.

CONCRETE

STRENGTH
20 MPA @ 28DAYS, NORMAL PORTLAND
SYMBOL: 10, MAX SIZE AGGR: 40 mm

FOUNDATION

DUE TO VARIABLE LOCAL SOIL CONDITIONS THIS TYPE OF FOUNDATION MAY BE SUBJECT TO DIFFERENTIAL MOVEMENT.

WOOD FRAMING

MATERIALS FOR JOIST BEAMS, AND LINTELS SHALL BE KD SPRUCE GRADE # 2 & BETTER.

MATERIALS FOR STUD WALLS SHALL BE KD SPRUCE STUD GRADE OR BETTER, OR AS NOTED.
SHEATHING FOR WALLS, ROOFS, AND FLOORS SHALL BE OSB SHEATHING OR BETTER THICKNESS AS SPECIFIED ON DRAWINGS.

DOUBLE FLOOR JOIST UNDER ALL PARALLEL PARTITION WALLS.

INSTALL 2x2 BRIDGING IN EACH JOIST BAY @ 7'-0" O.C.

USE JOIST HANGERS FOR ALL FLOOR JOIST & BEAM CONNECTIONS.

USE SUITABLE FRAMING STRIPS BETWEEN FOUNDATION WALL & EXTERIOR JOIST CONNECTIONS TO MINIMIZE LATERAL BRACING.

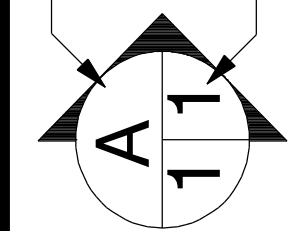
USE 2 - 2x10 LINTELS OVER ALL EXTERIOR OPENINGS UNLESS NOTED.

ALL TRUSSES TO BE PRE-ENGINEERED BY TRUSS MANUFACTURER, TO MEET LOCAL REQUIREMENTS.

ALL MATERIALS SUPPLIED AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS.

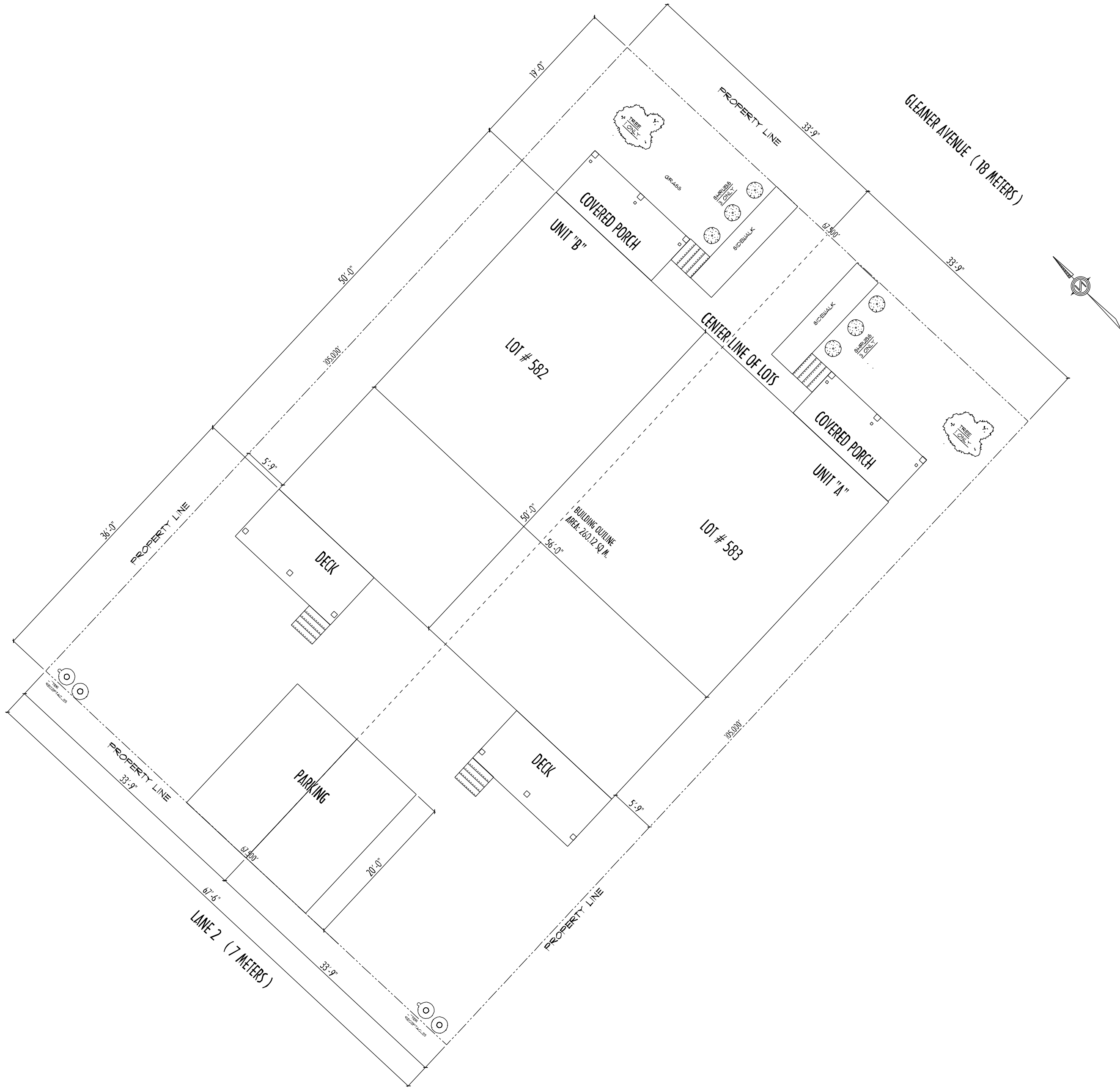
THE OWNER / BUILDER IS RESPONSIBLE FOR ANY SPECIAL DRAWINGS AND APPROVALS REQUIRED TO SUIT LOCAL CONDITIONS AND LOCAL MUNICIPAL BY-LAWS.

ALL CONCRETE FOUNDATION WORK & REINFORCING TO BE THE RESPONSIBILITY OF THE OWNER / BUILDER AND SHALL BE ASSIGNED TO LOCAL CONDITIONS BY AN ENGINEER FAMILIAR WITH LOCAL SOIL & FOUNDATION CONDITIONS AS REQUIRED.



SITE PLAN

SCALE: 1" = 10'-0"



PROJECT STATISTICS	
ADDRESS:	*48 & *46 GLEANER AVENUE
ZONING:	RCS
LOT AREA:	658.45 SQ.M
LOT FRONTAGE:	9.943 SQ.M
BUILDING HEIGHT FROM GRADE:	7.112 M

GROSS FLOOR AREA:	
FIRST FLOOR AREA UNIT A	130.06 SQ.M
FIRST FLOOR AREA UNIT B	130.06 SQ.M
TOTAL GROSS AREA	260.12 SQ.M

TOTAL DECK AREA:	23.65 SQ.M
COVERED PORCH AREA:	20.81 SQ.M

LOT COVERAGE:	
BUILDING FOOTPRINT:	260.12 SQ.M
TOTAL LOT COVERAGE	37.91 %

LOT SETBACKS:	
NORTH SETBACK:	1.193 M
SOUTH SETBACK:	1.193 M
EAST SETBACK:	9.192 M
WEST SETBACK:	10.972 M

LANDSCAPE	
SHRUBS:	6 JUNIPERS
TREES:	2 PINE

SITE PLAN

LOTS 582 & 583
PLAN 108387 CLSR, 2018-0025
LTO AND YUKON LAND
WHISTLE BEND SUBDIVISION
CITY OF WHITEHORSE, YUKON

DUPLEX

SITE PLAN



HABITAT FOR HUMANITY

SCALE: 1" = 10'-0"
DRAWN BY: BWO
DATE: October 1, 2021

